

PROPOSED COFFEE SHOP

AMSTERDAM COMMONS

4930 Route 30, Amsterdam, NY 12010

BDC Property # 4161

SITE DEVELOPMENT DRAWINGS

INDEX OF DRAWINGS

DWG. #	DRAWING NAME	REVISION	DATE
C1.0	COVER SHEET	1	11.4.2021
C2.0	EXISTING SURVEY		
C3.0	DEMOLITION & EROSION CONTROL PLAN		
C3.1	DEMOLITION & EROSION CONTROL DETAILS		
C4.0	OVERALL SITE PLAN	1	11.4.2021
C4.1	DETAILED SITE PLAN	1	11.4.2021
C4.11	EXISTING EASEMENTS SITE PLAN		
C4.2	CONSTRUCTION DETAILS	1	11.4.2021
C5.0	GRADING PLAN	1	11.4.2021
C5.1	DRAINAGE PLAN		
C5.2	DRAINAGE DETAILS		
C6.0	UTILITY PLAN		
C7.0	LANDSCAPE PLAN		
C8.0	LIGHTING PLAN		


OWNER/DEVELOPER:

NAME: BENDERSON DEVELOPMENT COMPANY, LLC
 ADDRESS: 570 DELAWARE AVENUE, BUFFALO, NY 14202
 CONTACT: DAVID ZUPPELLI
 PHONE: 716 - 878 - 9683

BENDERSON DEVELOPMENT COMPANY, LLC
 570 Delaware Ave.
 Buffalo, New York 14202

SURVEYOR

NAME: GERALD R GRAY
 ADDRESS: -
 CONTACT: GERALD R GRAY, PLS
 PHONE: 518-312-1335

 **Gerald R Gray**
 Licensed Land Surveyor
 Latham NY 518-312-1335

UTILITIES:

NATURAL GAS
 NAME/TITLE:
 COMPANY/DEPT: NATURAL GRID
 ADDRESS:
 PHONE: (800) 644 - 6729

TELEPHONE COMPANY
 NAME/TITLE:
 COMPANY/DEPT: VERIZON
 ADDRESS:
 PHONE: 877 - 297 - 7816

DIG SAFELY NEW YORK
 PHONE: 1 - 800 - 962 - 7962 OR (811)

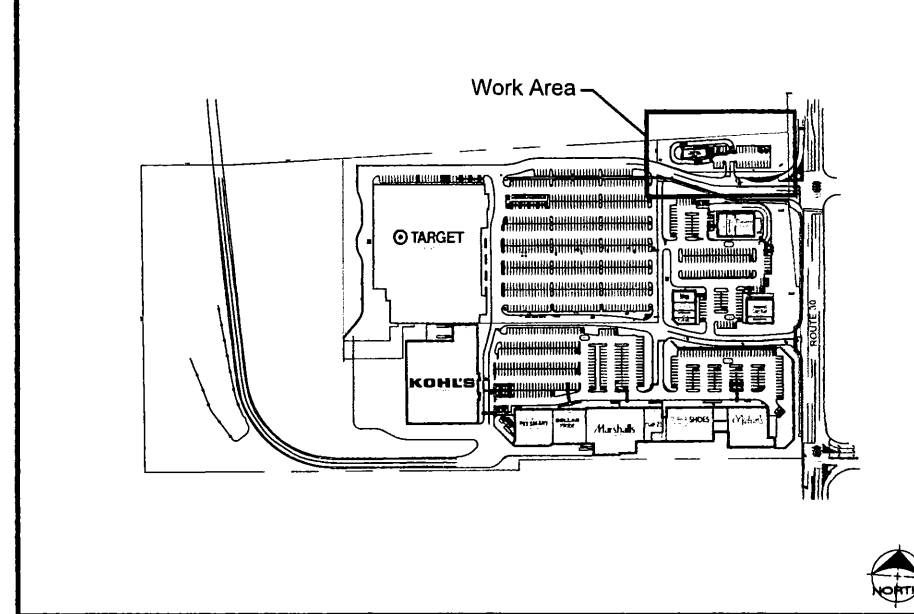
AGENCIES:

PLANNING BOARD
 NAME/TITLE: BRENT PHETTEPLACE / CHAIRPERSON
 COMPANY/DEPT: TOWN OF AMSTERDAM, PLANNING BOARD
 ADDRESS: 283 MANNY'S CORS. RD, AMSTERDAM, NY 12010
 PHONE: 518 - 842 - 7961

ZONING BOARD
 NAME/TITLE: MICHAEL FARIELLO / CHAIRMAN
 COMPANY/DEPT: TOWN OF AMSTERDAM / ZBA
 ADDRESS: 283 MANNY'S CORS. RD, AMSTERDAM, NY 12010
 PHONE: 518 - 842 - 7961

WATER / SEWER
 NAME/TITLE: CARL J. RUST / SUPERINTENDENT
 COMPANY/DEPT: TOWN OF AMSTERDAM / WATER AND SEWER DEPT.
 ADDRESS: 283 MANNY'S CORS. RD, AMSTERDAM, NY 12010
 PHONE: 518 - 842 - 7961

SITE LOCATION MAP 1:250



REGIONAL LOCATION MAP NTS



DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	11.4.2021	DZ	Town Comments

SPECIAL INFORMATION:
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 4209 OF THE STATE EDUCATION LAW.



Know what's below.
 Call before you dig.

PROPERTY NUMBER: # 4161
 AREA: -

Amsterdam Commons
 4930 Route 30
 Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

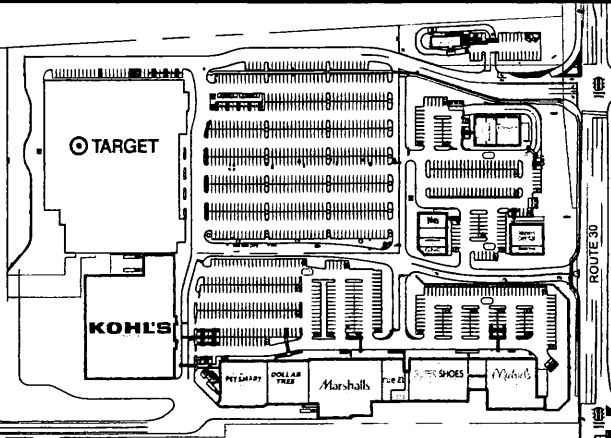
SEAL



TITLE
 Cover Sheet

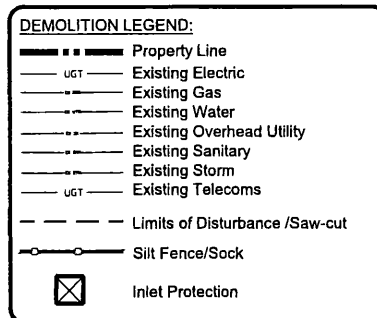
SCALE:
 NTS
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 08.24.2021

DRAWING NO
C1.0

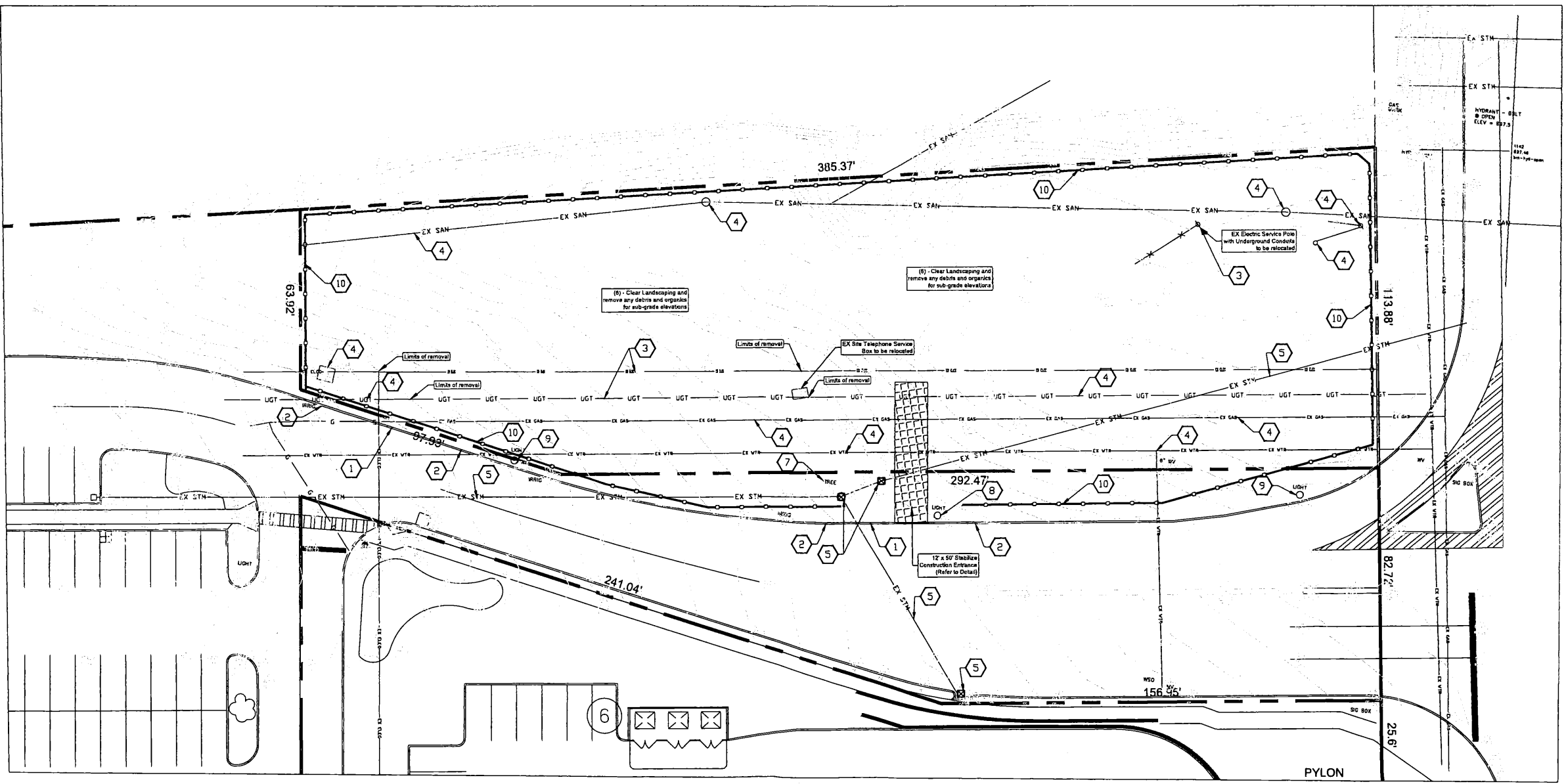


SITE LOCATION 1:200

- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK FINISHES: REFER TO ARCHITECTURAL PLANS FOR FINISHES OF CONCRETE TYPES.
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SELENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISPERATED.
 - 11.2. EXPOSED AGGREGATE/TAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SELENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (P WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL EC.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.



- DEMOLITION NOTES: (#)**
1. Existing Curb to be Removed.
 2. Limit of Curb Removal
 3. Existing Utility to be Removed.
 4. Existing Utility to Remain and be protected during construction.
 5. Existing Storm Inlet Structure to Remain and have inlet protection during construction.
 6. Existing Landscaping to be Removed.
 7. Existing Landscaping to remain and be protected during construction.
 8. Existing Light Pole Base to be removed and to be relocated.
 9. Existing Light Pole and Base to Remain.
 10. Proposed Silt-Fence/Sock.



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:

ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #2209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: # 4161
AREA: -

Amsterdam Commons
4930 Route 30
Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

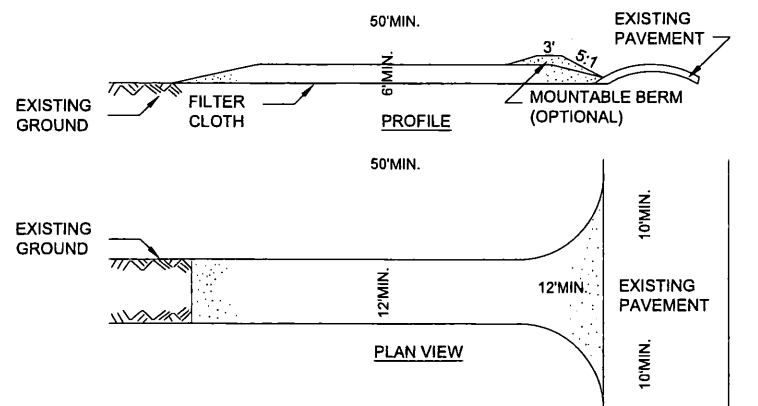
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE
Demolition and Erosion Control Plan

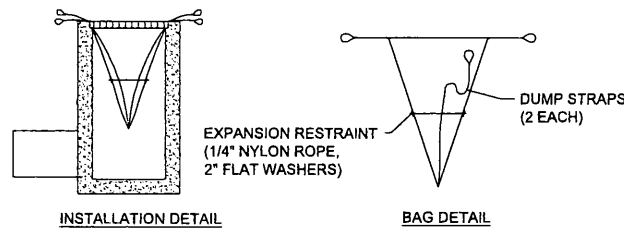
SCALE: 1"=20'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 08.24.2021
DRAWING NO: C3.0



STABILIZED CONSTRUCTION ENTRANCE DETAIL

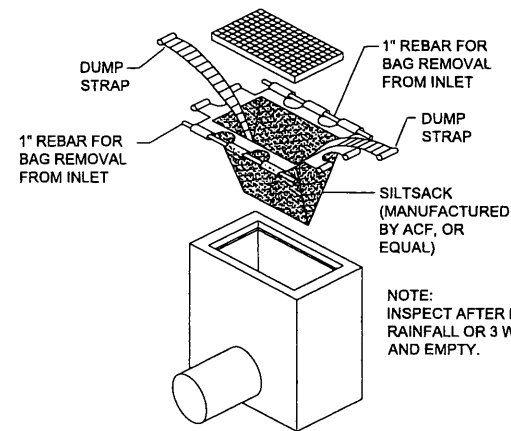
NOT TO SCALE

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

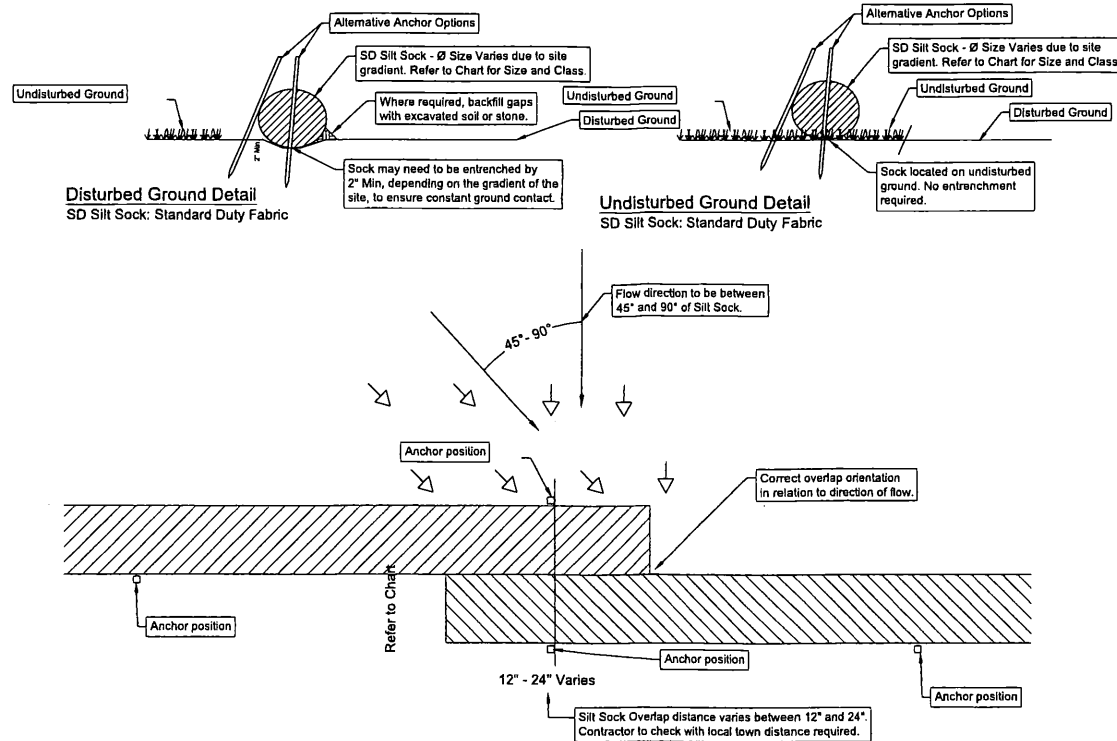


INSTALLATION DETAIL

BAG DETAIL

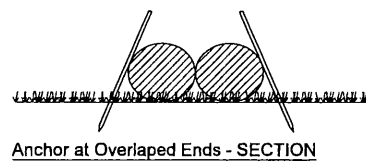


SILT SACK DETAIL
N.T.S.



Overlap Detail - PLAN

- 1) Anchors required at the overlap section are to stay outside the Silt Sock and not pierce through the material. See alternative anchor positions in details above.



Gradient	Diameter		
	8"	12"	18"
0 - 2%	30	55	75
2.1 - 5%	25	40	55
5.1 - 10%	15	30	40
10.1 - 33%	10	15	20
> 33%	5	10	15

SD SILT SOCK DETAIL

SD Silt Sock: Standard Duty Fabric

Notes:

- 1 - Do not use sock below the normal watermark or perpendicular to flow in river and where the maximum incline is greater than 50%.
- 2 - Contractors should be aware of federal, state and local laws, rules regulations or permit requirements for the use of Silt Socks on site.
- 3 - Sock should be positioned on the outline of the area to be protected, but must be installed between 45° to 90° from directions of flow.
- 4 - Sock may be required to be entrenched a minimum of 2" on disturbed ground to ensure constant ground contact.
- 5 - All gaps and ruts must be backfilled with soil or sock material.
- 6 - Sock overlap should be in the direction of the flow. Overlap amount will be between 12" and 24". Contractor to check with local town for requirements.
- 7 - If sediment collects to 1/2 the height of the sock, then a second sock may be stacked immediately up slope of the original instead of removing the sediment.
- 8 - Sock joint is where two sock sections meet on a level grade, overlap and adjoining ends, tightening the ends together, and anchoring through each end. Where two sections meet on un-level ground, J-hook higher elevated end, anchor, and begin new section just below. Back fill any gaps.
- 9 - Sock should be inspected and repaired as needed.
- 10 - If ruts begin under the sock they should be backfilled with soil and compacted so that the ground and sock have continuous contact.
- 11 - If sock rolls out of place, the sock should be repositioned and secured with additional anchors.
- 12 - Tears in the Sock fabric may be repaired by wrapping a new piece of fabric over the sock and securing, or by place a second sock immediately up slope with the required overlap beyond deformation.
- 13 - A section of sock should be replaced whenever it has weakened to such an extent that the efficiency is reduced or diminished. Weakening can occur because the natural mesh fabric breaks down over time of from being moved/dragged on site.
- 14 - Sock should be replaced when sediment has built up and has been removed three times.
- 15 - All sediment in disturbed area next to sock must be removed and correctly disposed of before the sock can be removed.
- 16 - When removing, cut sock open and spread the filler material around. The netting should be removed from site.
- 17 - Sock should be installed before works commence on site.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.
NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: # 4101 AREA: -

Amsterdam Commons
4930 Route 30
Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL

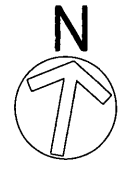
TITLE
Demolition and Erosion Control Details

SCALE: NTS
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 08.24.2021

DRAWING NO. **C3.1**

TOWN OF AMSTERDAM, NY ZONING ANALYSIS		
ZONED	REQUIRED	PROVIDED
	B-1	B-1
MAX. BUILDING HEIGHT	30'	25'
LOT COVERAGE	≤25%	5.2%
BUILDING SETBACKS:		
FRONT (RT. 30)	75'	237.6'
SIDE (EACH)	10'	31.5'
SIDE (TOTAL)	25'	64.0'
REAR	30'	74.2'
PARKING / ROAD SETBACKS:		
FRONT (SHOPPING)	20'	50.9'
SIDE	N/A	10.0'
REAR	N/A	N/A
SIGNAGE		
FRONT	15'	15.0'
SURFACE AREA / FACE	75 S.F.	TBD
HEIGHT - PLANTER TYPE	8'	8'

PROPOSED PARKING ANALYSIS			
USE	CODE	REQUIRED	PROVIDED
Existing Retail	3 Space / 1000 SF	278,347 S.F. x 3/1000 = 829 Spaces	1085 SPACES
Existing Restaurant	1 Space / 3 Seats	367 seats / 3 = 123 Spaces	
Restaurant	1 Space / 3 Seats	50 seats / 3 = 17 Spaces	24 SPACES
TOTAL		969 SPACES	1109 SPACES
STALL SIZE		9'x20'	9'x20'

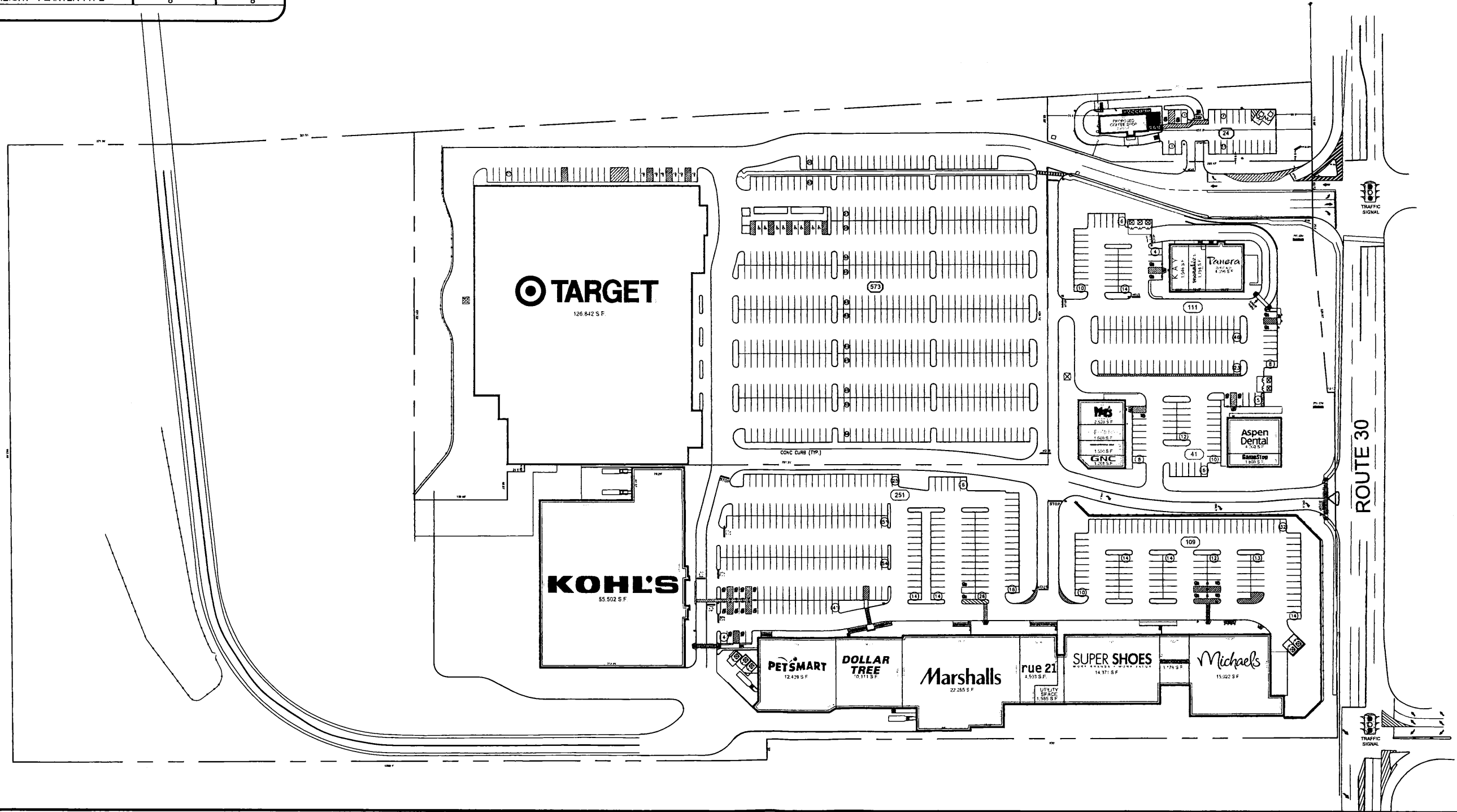


DRAWING REVISIONS:			
No.	DATE	BY	REMARKS
1	11.4.2021	DZ	Town Comments

SPECIAL INFORMATION:
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.
 SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ALL AND ALL STRUCTURES.
NOTICE
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 97209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER # 4161 AREA



Amsterdam Commons
 4930 Route 30
 Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

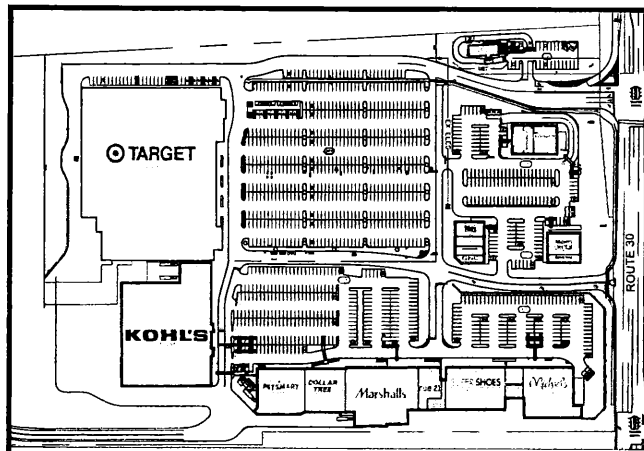
JAMES ALLEN RUMSEY ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

SEAL



TITLE
Overall Site Plan

SCALE: 1"=70'
 DRAWN BY: DMZ DRAWING NO:
 CHECKED BY: MAO
 DATE: 08.24.2021 **C4.0**



SITE LOCATION 1:200

- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUAL OR BETTER QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FRESH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - 3% ENCASE WITH DMS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISAPPEARED.
 - 11.2. EXPOSED AGGREGATE FINISHED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILICURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL EX.
 12. LIGHTING FIXTURE MOUNT SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COORDINATE.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

SITE LEGEND:

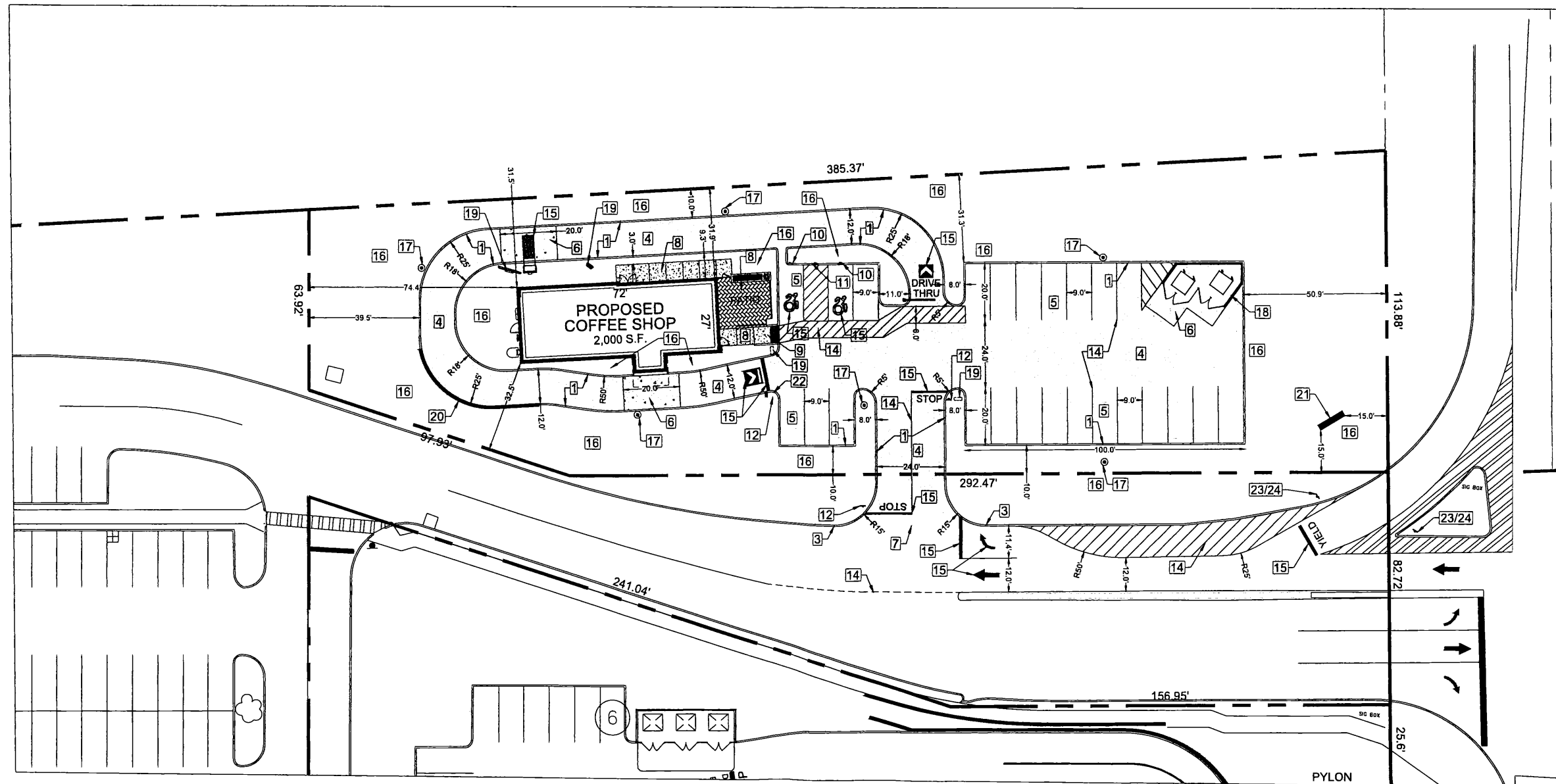
- Property line
- 6" Curb (typ.)
- Proposed sign & pole
- ▨ Proposed Concrete Pavement/Sidewalk
- ▧ Proposed Standard-Duty Pavement
- ▩ Proposed Heavy Duty Pavement
- ▩ Proposed Patio Pavers
- Proposed ADA Ramps with Detectable Warning Strip

• All curb radii are 3ft unless noted.
 • Refer to General Notes, Construction Details and Architectural Plans for Concrete Sealer information.

SITE NOTES: #

1. Proposed 6" Concrete Curb.
2. Proposed 3' Wide Curb opening
3. Match into Existing Curb or runoff over 2'.
4. Proposed Heavy Duty Pavement.
5. Proposed Standard Duty Pavement
6. Proposed Concrete Pavement..
7. Match into Existing Pavement.
8. Proposed Building Sidewalk and Patio. (Refer to Architectural Plans)
9. Proposed ADA Curb Ramp
10. Proposed "Handicapped Parking Only" sign with Bollard
11. Proposed "No Parking" sign with Bollard
12. Proposed "STOP" Sign
13. Proposed Concrete Sidewalk Ramp
14. 4" Yellow Pavement Stripe (at 2' c-c in no parking zones).
15. Proposed White Pavement symbol (stop bar, directional arrows, accessibility symbol, text)
16. Proposed Landscape Area.
17. Proposed Light Pole Base.
18. Proposed 8' High Masonry Dumpster Enclosure (Refer to Architectural Plans)
19. Proposed Drive Thru Equipment and Signage
20. Proposed Retaining Wall
21. Proposed Tenant Sign
22. Proposed "DO NOT ENTER" Sign
23. Proposed YIELD Sign
24. Proposed Merge Sign

NB: All curb Radii to be 3' unless otherwise noted.



DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	11.4.2021	DZ	Town Comments

SPECIAL INFORMATION:
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 4720 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER # 4161 AREA

Amsterdam Commons
 4930 Route 30
 Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

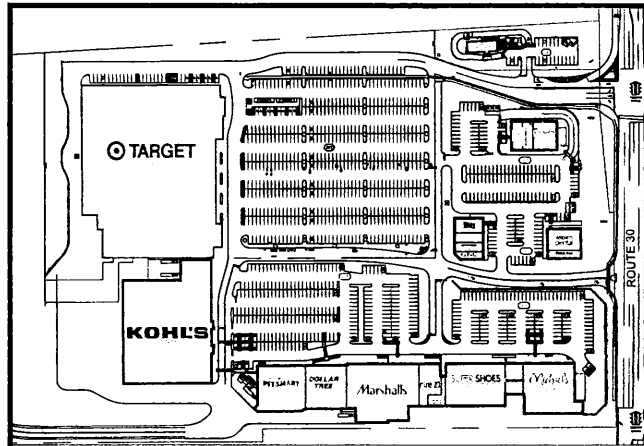
SEAL



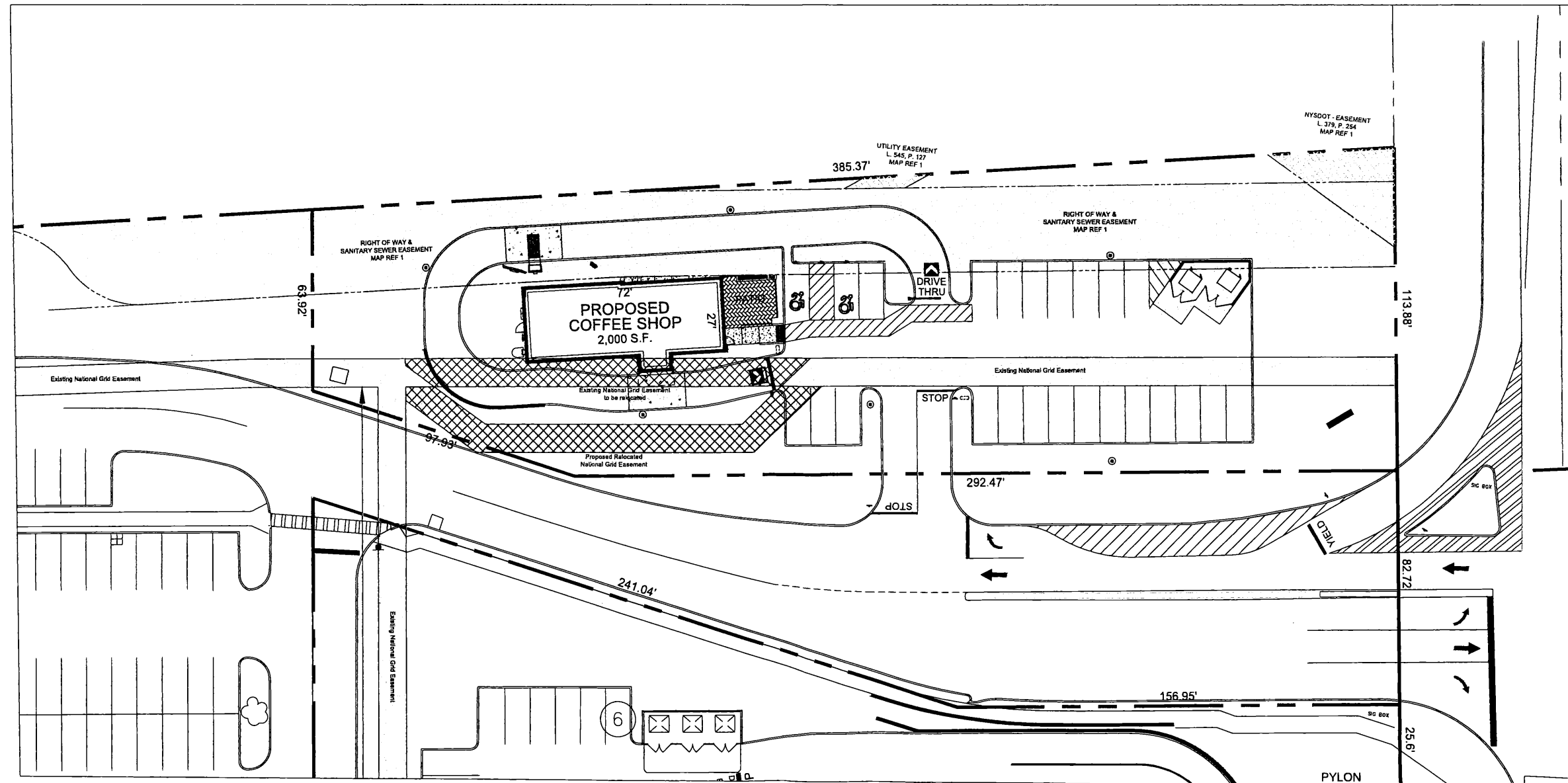
TITLE
Detailed Site Plan

SCALE: 1"=20'
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 08.24.2021

DRAWING NO
C4.1



SITE LOCATION 1:200



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION §7209 OF THE STATE EDUCATION LAW.



Know what's below.
 Call before you dig.

PROPERTY NUMBER # 4161 AREA

Amsterdam Commons
 4930 Route 30
 Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

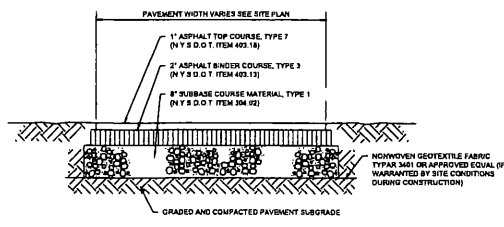
SEAL



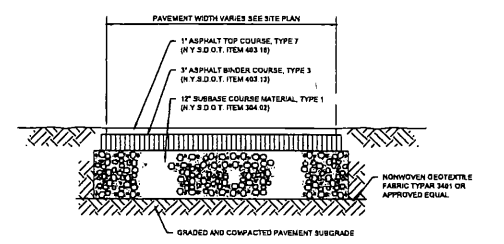
TITLE
Existing Easements Site Plan

SCALE: 1"=20'
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 08.24.2021

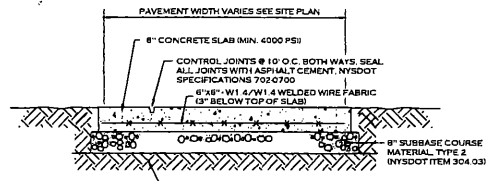
DRAWING NO.
C4.11



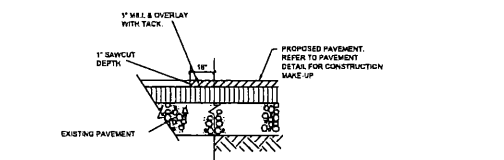
STANDARD DUTY ASPHALT SECTION



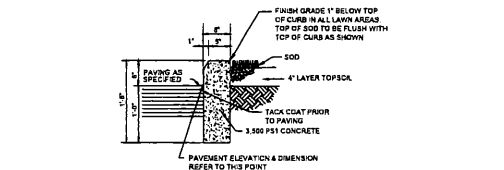
HEAVY DUTY ASPHALT SECTION



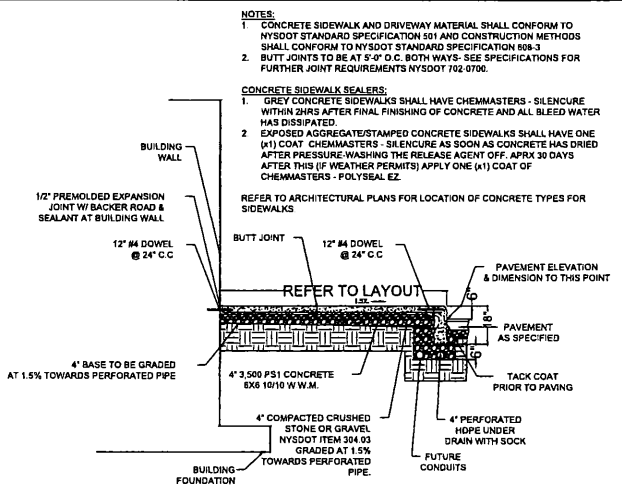
CONCRETE PAVEMENT (INC DUMPSTER)



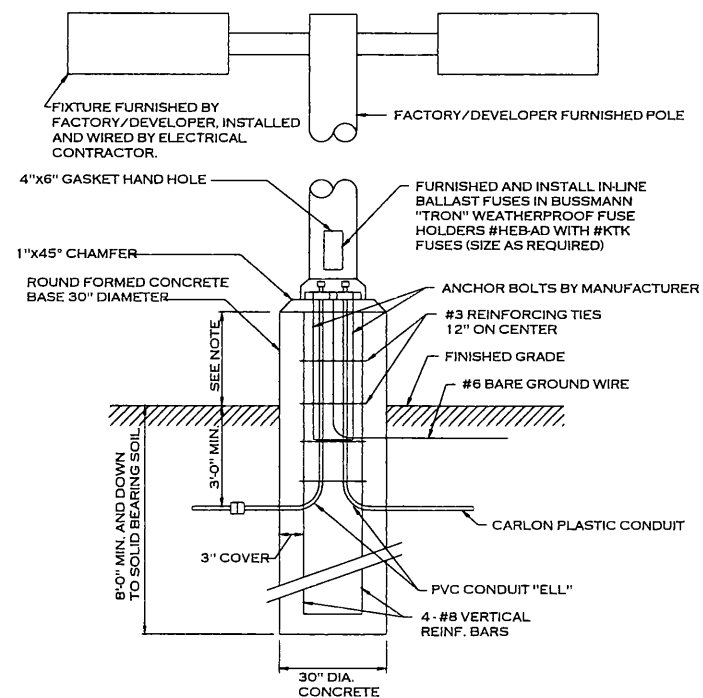
PAVEMENT TRANSITION DETAIL (ASPHALT PAVEMENT)



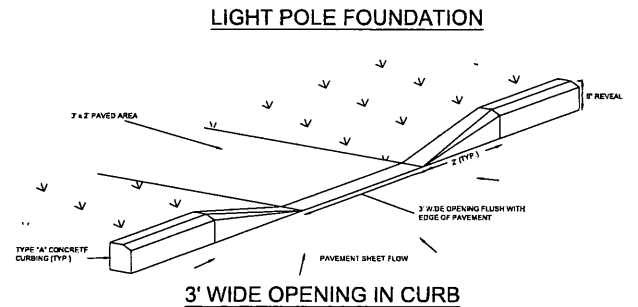
TYPE 'A' CONCRETE CURB



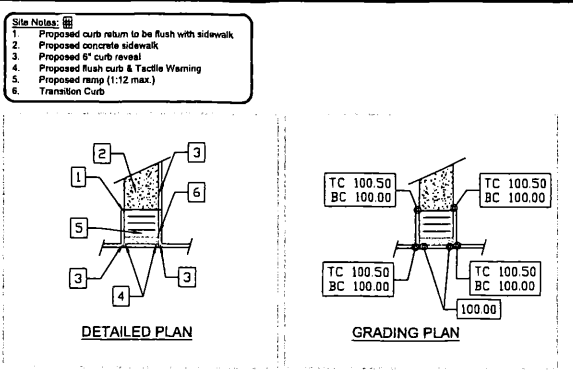
BUILDING SIDEWALK DETAIL



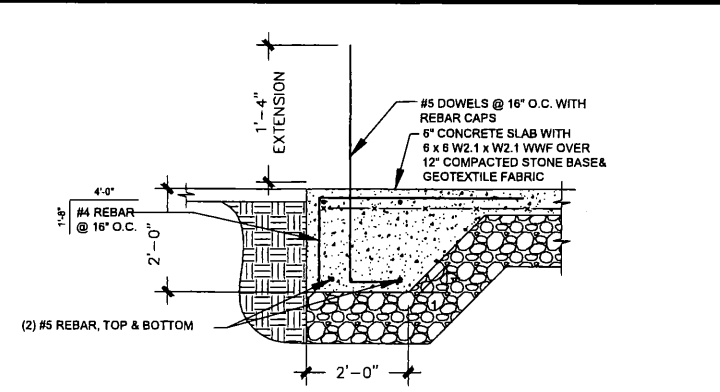
LIGHT POLE FOUNDATION



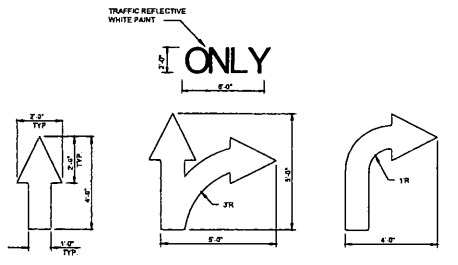
6\"/>



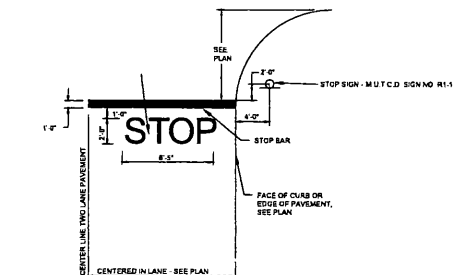
Curb Return Ramp Details
(To be read in conjunction with Engineering Plans and Details)
Spots levels are indicative - Refer to Grading Plan



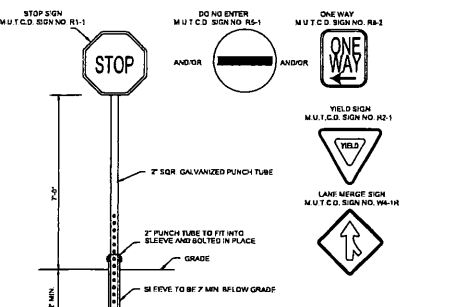
DUMPSTER HAUNCHED CONCRETE DETAIL



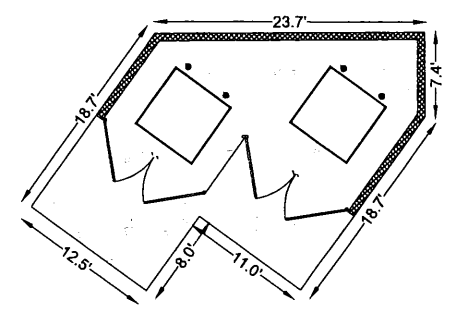
PAINTED TRAFFIC ARROWS



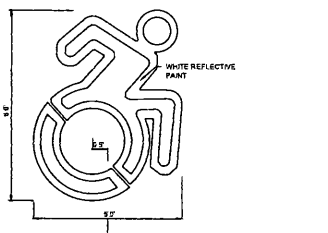
STOP BAR DETAIL



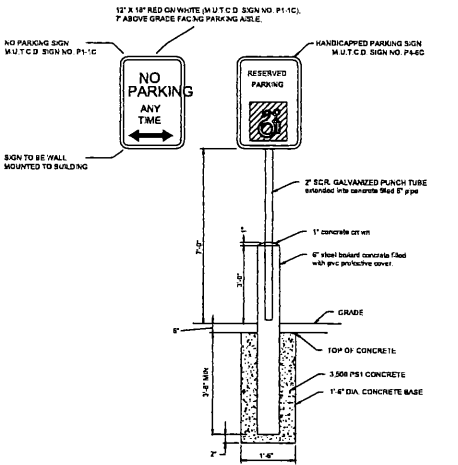
"STOP" / "NO ENTRY" / "ONE WAY" SIGNS



CONCRETE PAD - DUMPSTER



INTERNATIONAL HANDICAP SYMBOL



HANDICAP / NO PARKING SIGNS

DRAWING REVISIONS:

No.	DATE	BY	REMARKS
1	11.4.2021	DZ	Town Comments

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE
SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.
NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 4725A OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: 4161
AREA:

Amsterdam Commons
4930 Route 30
Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Construction Details

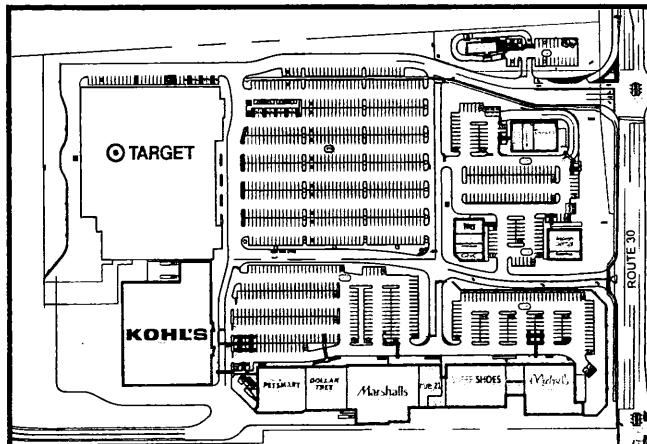
SCALE:
NTS

DRAWN BY:
DMZ

CHECKED BY:
MAO

DATE:
08.24.2021

DRAWING NO.
C4.2



SITE LOCATION 1:200

- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 24RS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISAPPEARED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL 52.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

GRADING LEGEND:

- Property Line
- 6" Curb (typ.)
- ☒ Catch Basin - Top of Grade
- ### Proposed Contour Line
- #% Slope Direction



DRAWING REVISIONS:

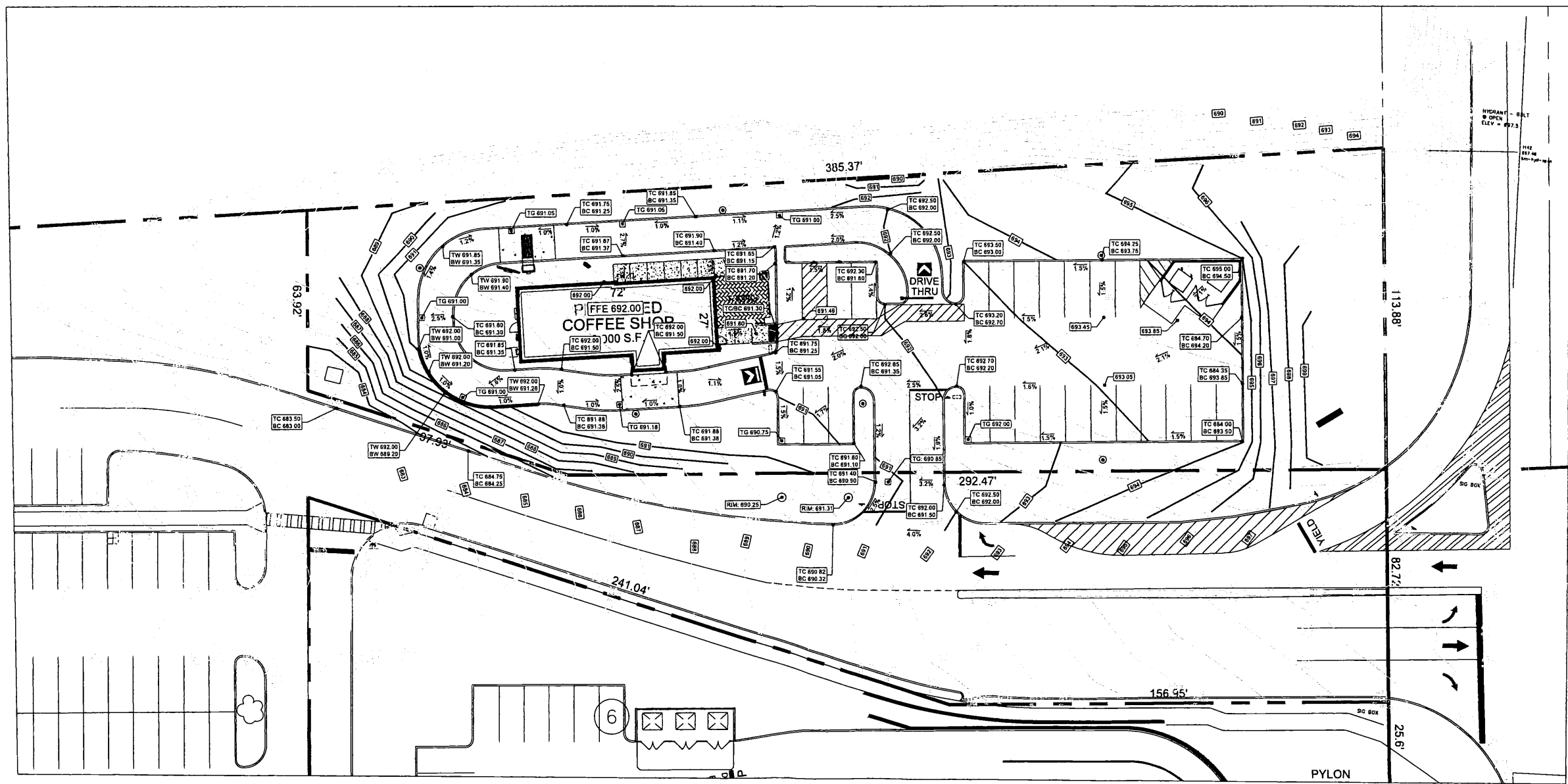
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.
 SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.
NOTICE
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 27205 OF THE STATE EDUCATION LAW.



Know what's below.
 Call before you dig.

PROPERTY NUMBER: # 4161
 AREA: .



Amsterdam Commons
 4930 Route 30
 Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

SEAL

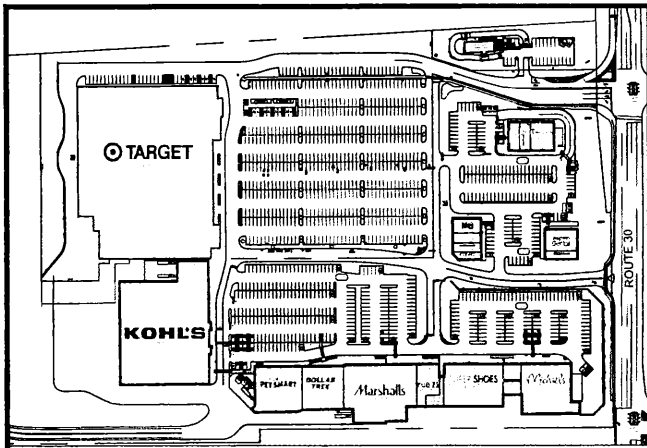


TITLE
Grading Plan

SCALE:
 1"=20'

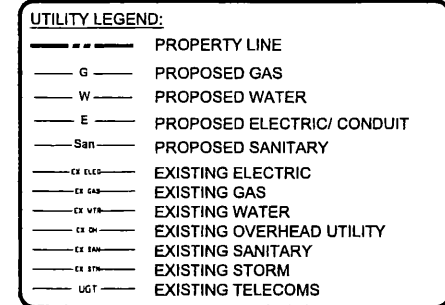
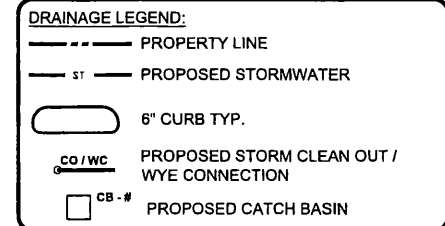
DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 08.24.2021

DRAWING NO:
C5.0



SITE LOCATION 1:200

- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES):
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SELENCURE WITHIN 24RS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISPERSED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMMASTERS - SELENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE WASHING THE RELEASE AGENT OFF. APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (1) COAT OF CHEMMASTERS - POLYSEAL 1Z.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE ACQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE:
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 4729 OF THE STATE EDUCATION LAW.



Know what's below.
Call before you dig.

PROPERTY NUMBER: # 4161
AREA: -

Amsterdam Commons
4930 Route 30
Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

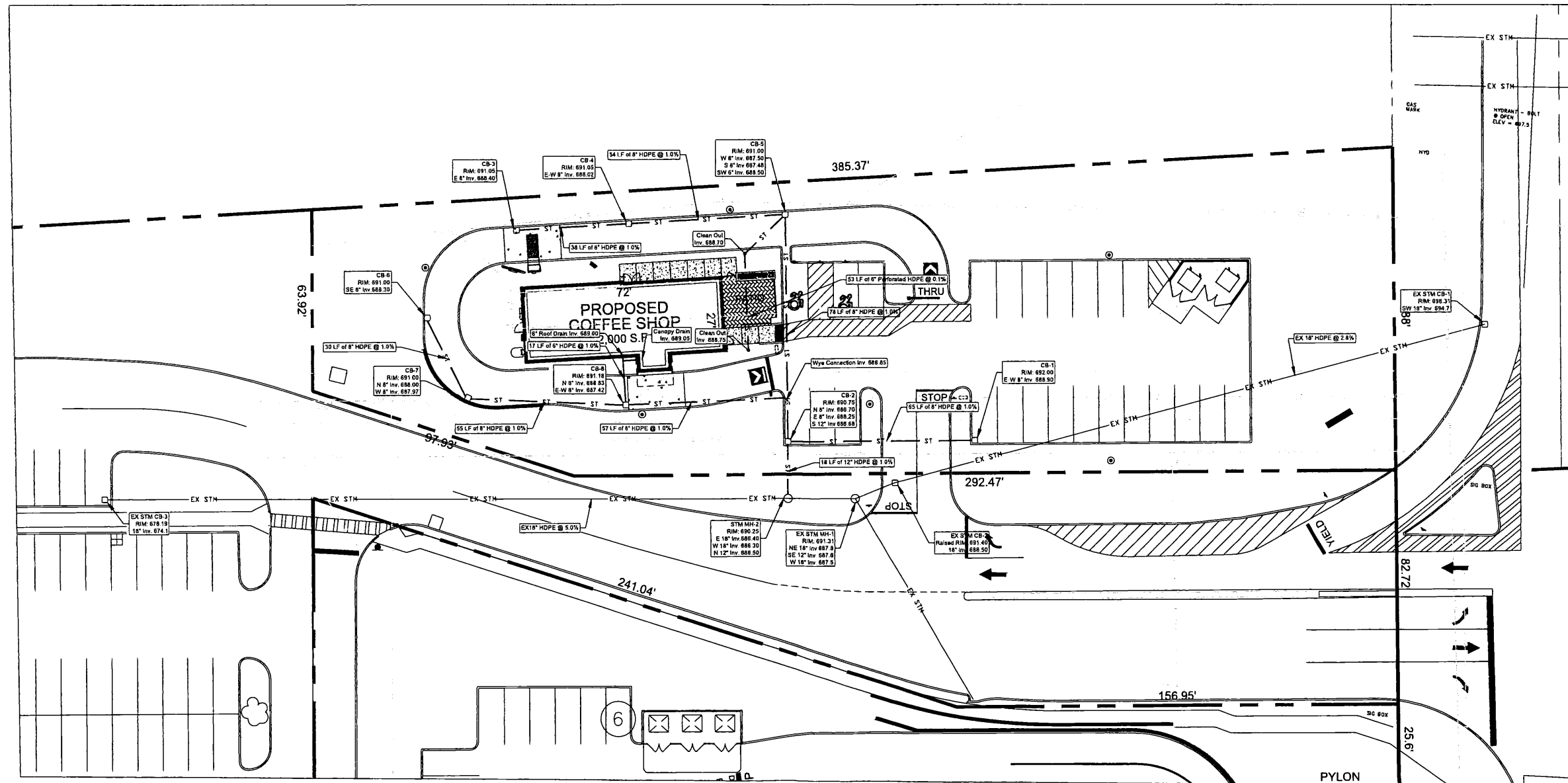
SEAL

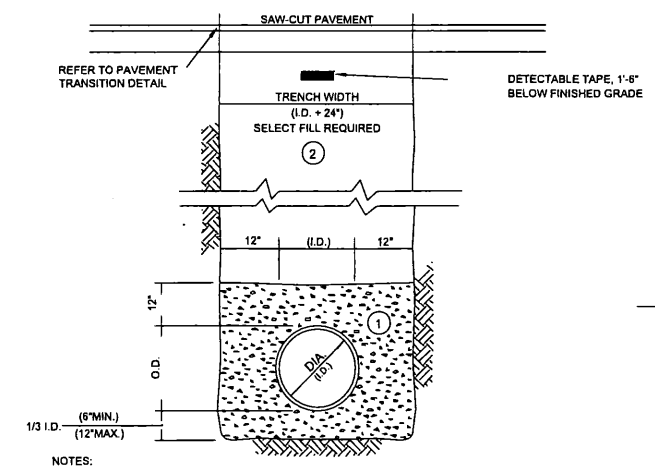


TITLE
Drainage Plan

SCALE:
1"=20'
DRAWN BY: DMZ
CHECKED BY: MAO
DATE: 08.24.2021

DRAWING NO.
C5.1



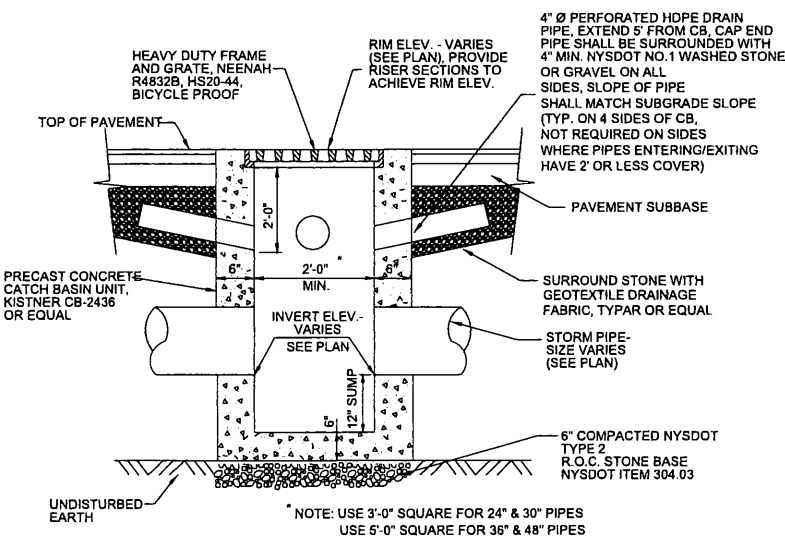


- NOTES:
- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

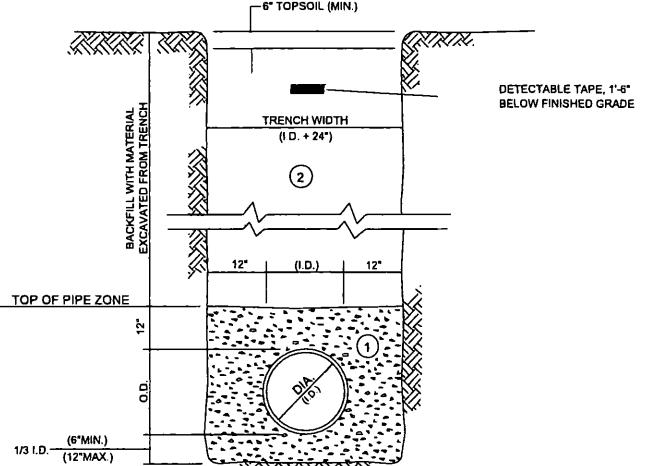
MATERIALS

- PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)**
- 1. NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703-02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
 - NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
 - 2. TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 304-02 TYPE 2. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
 - NO SLAG SHALL BE ALLOWED FOR MATERIAL 2

TRENCH SECTION IN PAVED AREAS



TYPICAL PRECAST CATCH BASIN

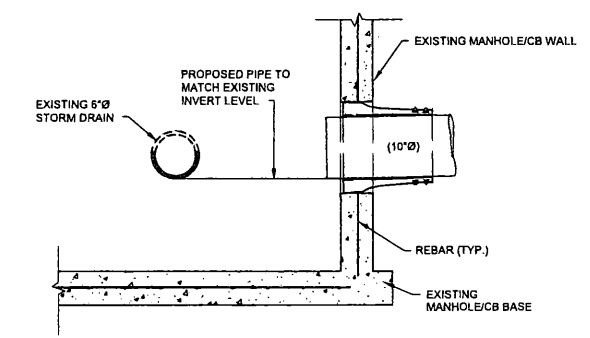


- NOTES:
- A. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - B. TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - C. TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM PAY LIMITS.
 - D. AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNSHEETED TRENCH AREAS.

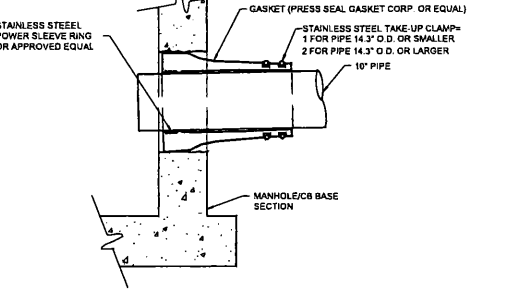
MATERIALS

- PIPE BEDDING MATERIAL (NYS DOT 1985 EDITION)**
- 1. NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH NYSDOT SECTION 703-02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
 - NO SLAG SHALL BE ALLOWED FOR MATERIAL 1
 - 2. BACKFILL MATERIAL SHALL BE NATIVE SOIL CONTAINING NO UNSUITABLE MATERIAL COMPACTED IN 6" LIFTS.

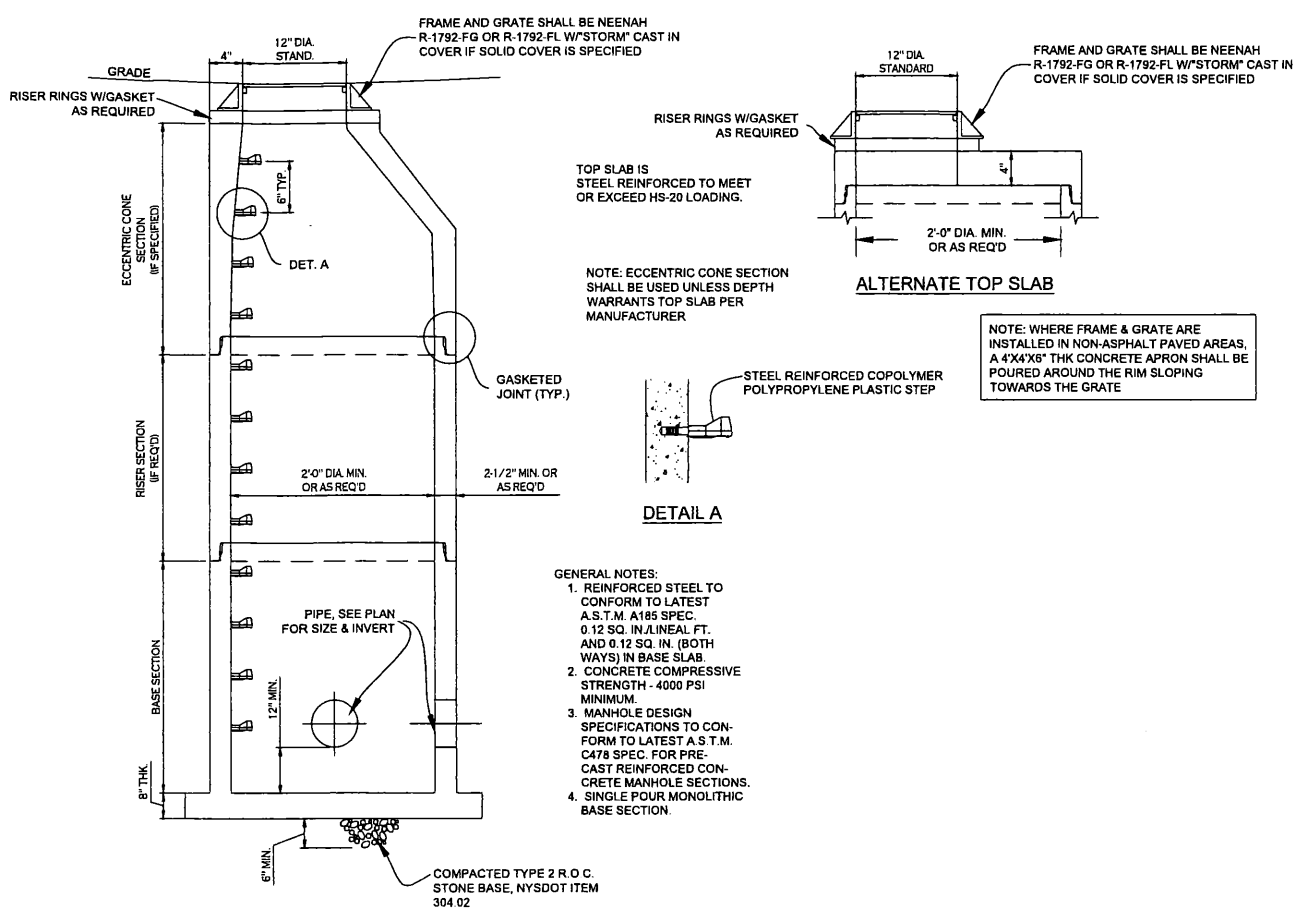
TRENCH SECTION IN UNPAVED AREAS



- NOTES:
- CORE DRILL ENTRANCE HOLE IN PRECAST MANHOLE BARREL, BASE AND/OR BENCH FOR REQUIRED PIPE CLEARANCE PER MANUFACTURERS RECOMMENDATIONS.
 - DOES NOT APPLY TO HOUSE LATERALS.
 - WATERTIGHT PIPE TO MANHOLE BOOT SEAL REQUIRED FOR ALL CORE DRILLED ENTRANCE HOLES IN MANHOLE BARREL AS SHOWN BELOW.

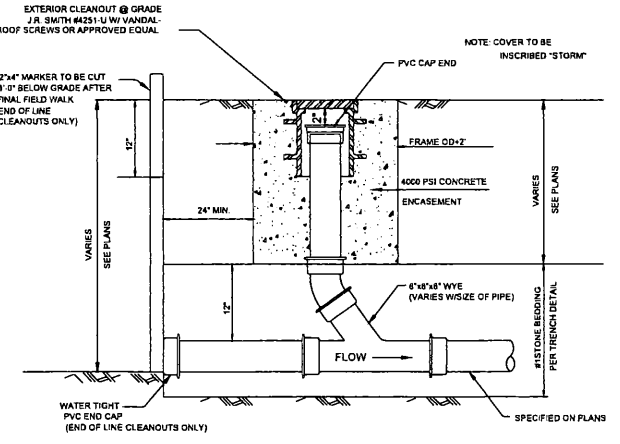


CONNECTION TO EXISTING MANHOLE/CB

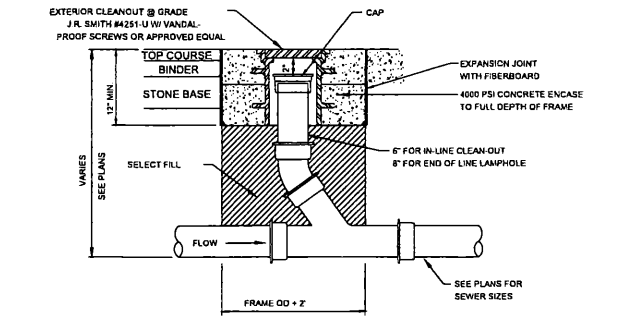


TYPICAL STORM MANHOLE DETAIL

- GENERAL NOTES:
- REINFORCED STEEL TO CONFORM TO LATEST A.S.T.M. A185 SPEC. 0.12 SQ. IN. LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) IN BASE SLAB.
 - CONCRETE COMPRESSIVE STRENGTH - 4000 PSI MINIMUM.
 - MANHOLE DESIGN SPECIFICATIONS TO CONFORM TO LATEST A.S.T.M. C478 SPEC. FOR PRE-CAST REINFORCED CONCRETE MANHOLE SECTIONS.
 - SINGLE POUR MONOLITHIC BASE SECTION.



CLEANOUT IN LANDSCAPED AREAS



CLEANOUT IN PAVED AREAS

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.
 SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.
NOTE:
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: # 4161
 AREA: -

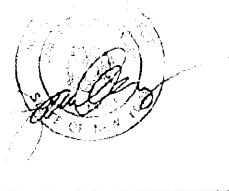
Amsterdam Commons
 4930 Route 30
 Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 888-0211

SEAL

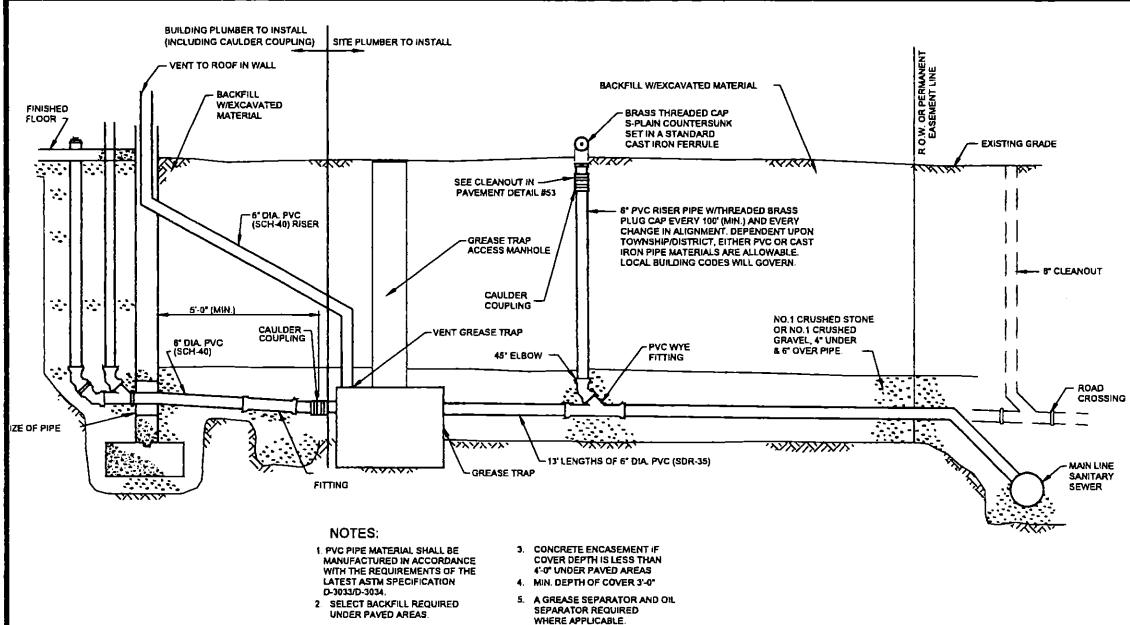


TITLE:
Drainage Details

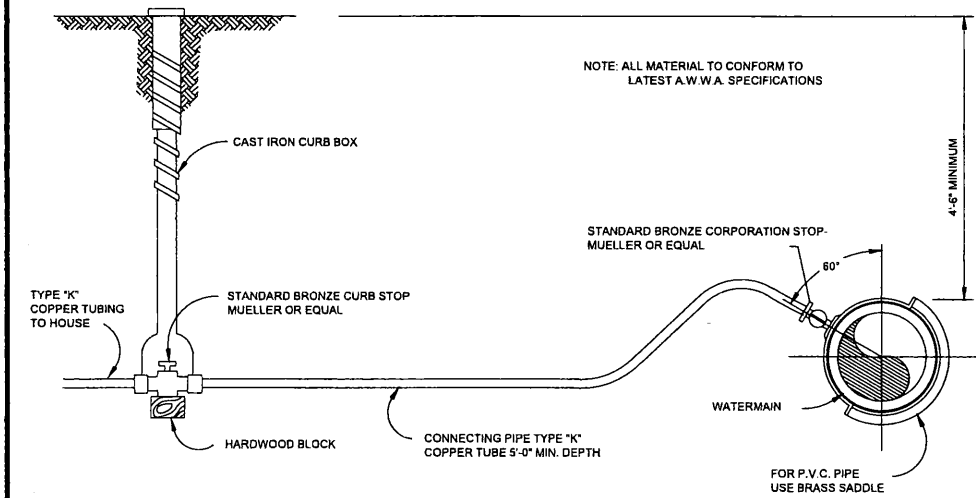
SCALE:
 NTS

DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 08.24.2021

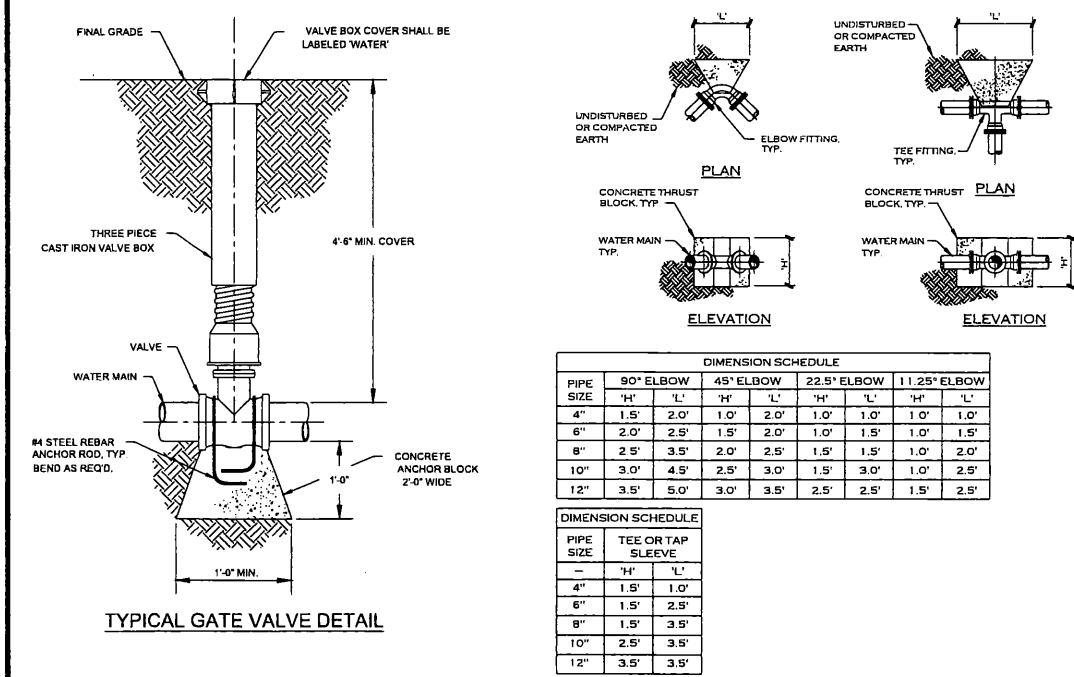
DRAWING NO:
C5.2



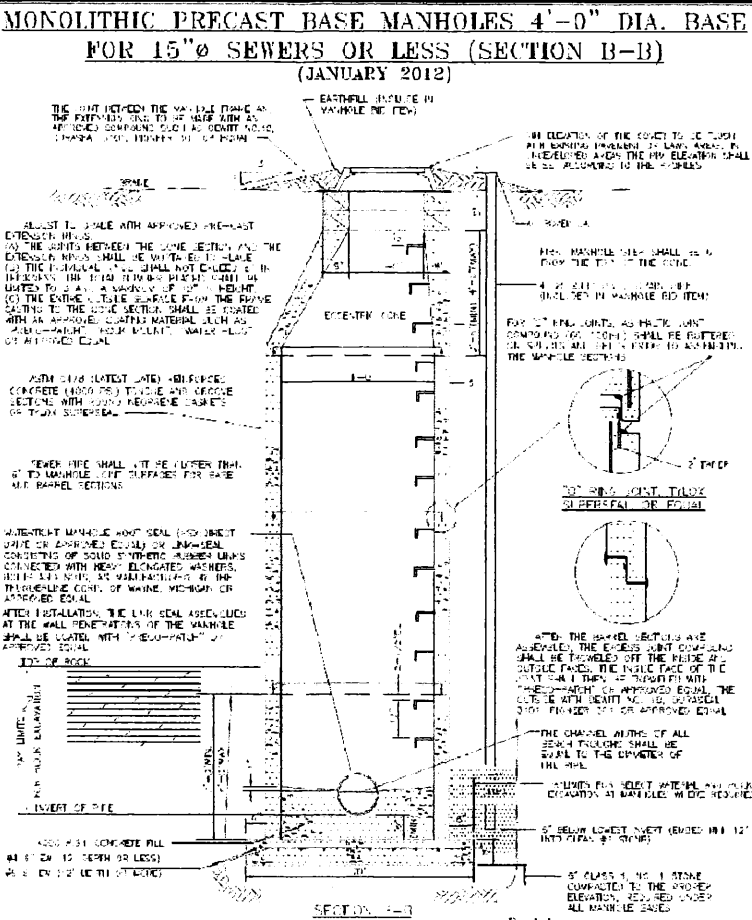
TYPICAL COMMERCIAL SERVICE WITHOUT BASEMENT DETAIL (GREASE TRAP)



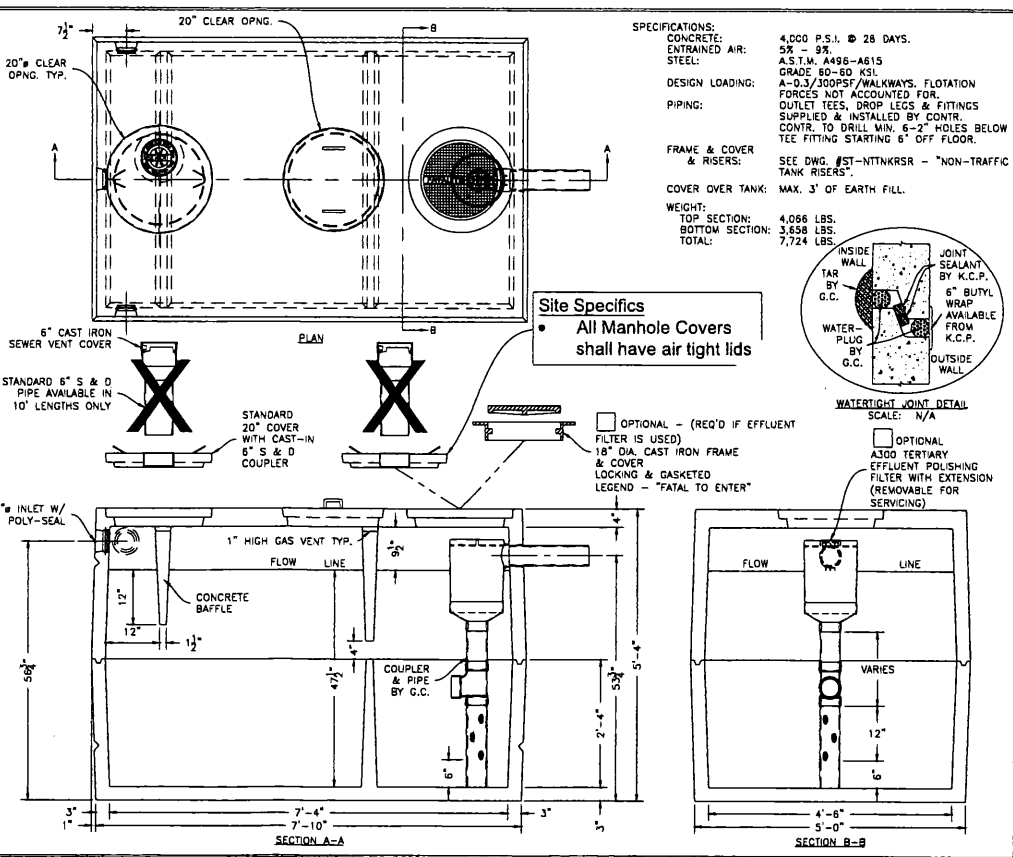
TYPICAL WATER SERVICE LINE INSTALLATION



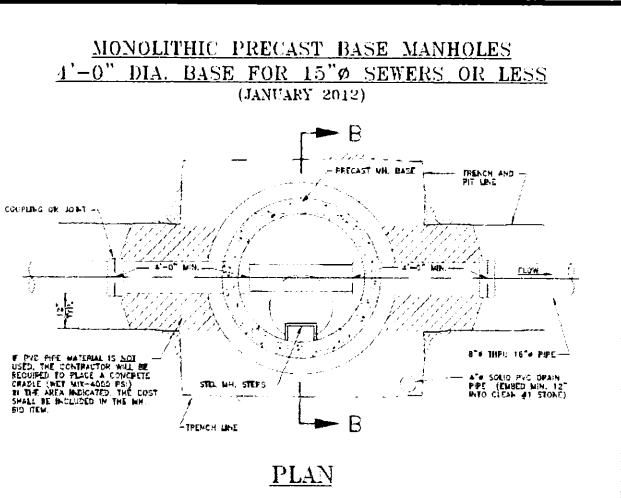
TYPICAL GATE VALVE DETAIL



MONOLITHIC PRECAST BASE MANHOLES 4'-0" DIA. BASE FOR 15" SEWERS OR LESS (SECTION B-B)



MONOLITHIC PRECAST BASE MANHOLES 4'-0" DIA. BASE FOR 15" SEWERS OR LESS (SECTION A-A)



MONOLITHIC PRECAST BASE MANHOLES 4'-0" DIA. BASE FOR 15" SEWERS OR LESS (PLAN)

AMERICAN CONCRETE PRODUCTS
 1000 GALLON "K-SEP" GREASE INTERCEPTOR
 (716) 888-2267

PRODUCT DESIGNATION
 @WQ. NO. G1-KSEP-G1000-II © 1-16-07

CONCRETE
 4,000 P.S.I. @ 28 DAYS.
 ENGRAINED AIR: 5% - 8%
 DESIGN LOADING: A.S.T.M. A468-A615 GRADE 60-60 KSI. A-0.3/300PSI/WALKWAYS, FLOTATION FORCES NOT ACCOUNTED FOR. OUTLET TEES, DROP LEGS & FITTINGS SUPPLIED & INSTALLED BY CONTR. CONTR. TO DRILL MIN. 6" HOLES BELOW TEE FITTING STARTING 6" OFF FLOOR.

FRAME & RISERS: SEE DWG. #ST-NITNKRSR - "NON-Traffic TANK RISERS".

COVER OVER TANK: MAX. 3' OF EARTH FILL.

WEIGHT:
 TOP SECTION: 4,066 LBS.
 BOTTOM SECTION: 3,638 LBS.
 TOTAL: 7,724 LBS.

WATER TIGHT JOINT DETAIL:
 SCALE: N/A
 INSIDE WALL: JOINT SEALANT BY K.C.P.
 TAR BY G.C.
 6" BUTYL WRAP AVAILABLE FROM K.C.P.
 WATER-PLUG BY G.C.
 OUTSIDE WALL

Site Specifics
 All Manhole Covers shall have air tight lids

OPTIONAL - (REQ'D IF EFFLUENT FILTER IS USED)
 18" DIA. CAST IRON FRAME & COVER
 LOCKING & GASKETED
 LEGEND - "FATAL TO ENTER"

OPTIONAL 3300 TERTIARY EFFLUENT POLISHING FILTER WITH EXTENSION (REMOVABLE FOR SERVICING)

DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
 ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.
 SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
 UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #228 OF THE STATE EDUCATION LAW.

811
 Know what's below.
 Call before you dig.

PROPERTY NUMBER: # 4161 AREA: _____

Amsterdam Commons
 4930 Route 30
 Amsterdam, NY 12010

PROPOSED COFFEE SHOP

CONSULTANT

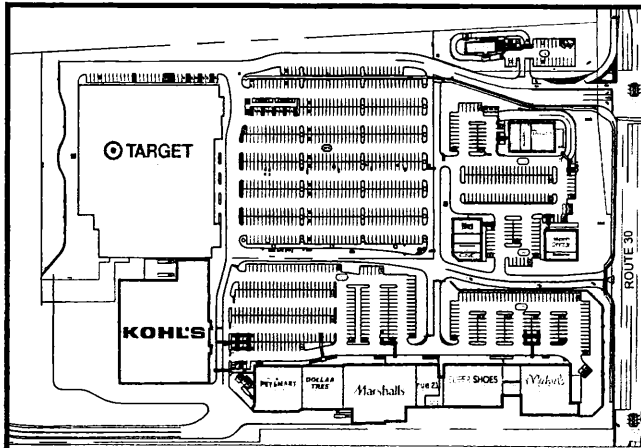
JAMES ALLEN RUMSEY
 ARCHITECT
 PREPARED FOR
BENDERSON DEVELOPMENT
 570 DELAWARE AVE., BUFFALO, NY 14202
 (716) 886-0211

SEAL

Utility Details

SCALE: NTS
 DRAWN BY: DMZ
 CHECKED BY: MAO
 DATE: 08.24.2021

DRAWING NO. **C6.1**



SITE LOCATION 1:200

- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL, CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK REINFORCING SHALL BE LOCATED AS SHOWN ON THE SIDEWALK PLAN.
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMISTERS - SILICURE WITHIN 24RS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS OBSERVED.
 - 11.2. EXPOSED AGGREGATE/TAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (1) COAT CHEMISTERS - SILICURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE WASHING THE RELEASE AGENT OFF APPROX 30 DAYS AFTER THIS (IF WEATHER PERMITS). APPLY ONE (1) COAT OF CHEMISTERS - FOR FINAL 27.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURBS TO INSIDE OF CURBS.

#	Name	Parameter	Min	Max	Average
1	Parking Summary	Site FC	0.31%	0.68%	1.75%

Index	Manufacturer	Luminaire type	Item number	Luminous flux	Mounting Height	Connected load	Quantity
1	SimpleLEDs	SimpleLEDs FLD-RS Series, TS Distributor, 60W Power Input, 4000K Double Head Fixture with 30' extension with rear shield	FLD-RS-090 W/UV-42K-T4-BL-RS	13069 Lm	25 Ft	90 W	6

SimpleLED FLD-RS
AREA, ROADWAY & STREET LIGHTING

AVAILABLE IN 60W THRU 340W

Available Color Temperatures (K): 2700, 3000, 3500, 4000, 5000, 5700, 6500, 7000, 8000, 9000, 10000

CR10

Efficiency (lm/W)

LED Source

Power supply

Compliance: ENEC, CE, FCC, IEC, UL, VDE, RoHS, REACH, WEEE, EMC, EN54, EN60598-1, EN60598-2-1, EN60598-2-2, EN60598-2-3, EN60598-2-4, EN60598-2-5, EN60598-2-6, EN60598-2-7, EN60598-2-8, EN60598-2-9, EN60598-2-10, EN60598-2-11, EN60598-2-12, EN60598-2-13, EN60598-2-14, EN60598-2-15, EN60598-2-16, EN60598-2-17, EN60598-2-18, EN60598-2-19, EN60598-2-20, EN60598-2-21, EN60598-2-22, EN60598-2-23, EN60598-2-24, EN60598-2-25, EN60598-2-26, EN60598-2-27, EN60598-2-28, EN60598-2-29, EN60598-2-30, EN60598-2-31, EN60598-2-32, EN60598-2-33, EN60598-2-34, EN60598-2-35, EN60598-2-36, EN60598-2-37, EN60598-2-38, EN60598-2-39, EN60598-2-40, EN60598-2-41, EN60598-2-42, EN60598-2-43, EN60598-2-44, EN60598-2-45, EN60598-2-46, EN60598-2-47, EN60598-2-48, EN60598-2-49, EN60598-2-50, EN60598-2-51, EN60598-2-52, EN60598-2-53, EN60598-2-54, EN60598-2-55, EN60598-2-56, EN60598-2-57, EN60598-2-58, EN60598-2-59, EN60598-2-60, EN60598-2-61, EN60598-2-62, EN60598-2-63, EN60598-2-64, EN60598-2-65, EN60598-2-66, EN60598-2-67, EN60598-2-68, EN60598-2-69, EN60598-2-70, EN60598-2-71, EN60598-2-72, EN60598-2-73, EN60598-2-74, EN60598-2-75, EN60598-2-76, EN60598-2-77, EN60598-2-78, EN60598-2-79, EN60598-2-80, EN60598-2-81, EN60598-2-82, EN60598-2-83, EN60598-2-84, EN60598-2-85, EN60598-2-86, EN60598-2-87, EN60598-2-88, EN60598-2-89, EN60598-2-90, EN60598-2-91, EN60598-2-92, EN60598-2-93, EN60598-2-94, EN60598-2-95, EN60598-2-96, EN60598-2-97, EN60598-2-98, EN60598-2-99, EN60598-2-100

Warranty

30W 110W 170W 230W 290W 340W

10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100



DRAWING REVISIONS:

No.	DATE	BY	REMARKS

SPECIAL INFORMATION:

ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE

UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION 1720B OF THE STATE EDUCATION LAW.



PROPERTY NUMBER # 4161 AREA

